

DATE OF MEETING April 25, 2022

AUTHORED BY SADIE ROBINSON, PLANNER, CURRENT PLANNING

**SUBJECT DEVELOPMENT PERMIT APPLICATION NO. DP1229
– 4771 HAMMOND BAY ROAD**

OVERVIEW

Purpose of Report

To present for Council’s consideration, a development permit application for a multi-family residential townhouse development with five units at 4771 Hammond Bay Road.

Recommendation

That Council issue Development Permit No. DP1229 at 4771 Hammond Bay Road for a multi-family residential townhouse development, with the following variances to:

- reduce the minimum required side yard setback from 3.0m to 1.77m along the east property line;
- increase the maximum combined retaining wall and fence height within the front yard setback from 1.2m to 2.4m; and within the side and rear yards from 2.4m to 3.7m;
- increase the maximum combined retaining wall and fence height outside of the required yard setbacks from 3.0m to 3.95m; and,
- reduce the required minimum landscape buffer width from 1.8m to 0m along the east side property line.

BACKGROUND

A development permit application, DP1229, was received from HSC Ventures Ltd., for a multi-family residential townhouse development with five units to be located at 4771 Hammond Bay Road. A rezoning application (RA401) to rezone the subject property from Single Dwelling Residential (R1) to Low Density Residential (R6) was approved in 2020.

Subject Property and Site Context:

<i>Zoning</i>	R6 - Low Density Residential
<i>Location</i>	The subject property is located in the Hammond Bay Road neighbourhood near Vista View Crescent and Roxanne Park.
<i>Total Area</i>	1,475m ²
<i>Official Community Plan (OCP)</i>	Map 1 – Neighbourhood; Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial/Residential Development
<i>Neighbourhood Plan</i>	Rocky Point-Hammond Bay-Stephenson Point Neighbourhood Plan
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines.

The subject property currently contains a single family dwelling that will be removed for the proposed multi-family development. The property slopes up by approximately 10m from Hammond Bay Road to the rear of the property and is surrounded by Single Dwelling Residential (R1) and Duplex Residential (R4) zoned lots to the east, west, south, and north across Hammond Bay Road. The property is approximately 600m southeast from Frank J. Ney Elementary School, and is approximately 900m southwest of Morningside and Neck Point Parks.

DISCUSSION

Proposed Development

The applicant is proposing to construct a five-unit ground-oriented multi-family townhouse development consisting of one duplex and one triplex building. The maximum base Floor Area Ratio (FAR) in the R6 zone is 0.45 and an additional 0.10 FAR is permitted where a development meets Tier 1 of the “City of Nanaimo Zoning Bylaw 2011 No. 4500” (the “Zoning Bylaw”) Schedule D - Amenity Requirements for Additional Density. The proposed development has an FAR of 0.55, and the applicant is proposing to meet Tier 1 by providing amenities including as follows:

- a minimum of 75% of the materials used in construction are renewable resources;
- a minimum of 50% of the property is covered with a permeable surface area; and,
- a bioswale is included to capture storm water runoff.

The building composition includes five 3-bedroom units that are approximately 140m² to 177m² in size.

Site Design

The two buildings are accessed from an internal driveway, with the entrance from Hammond Bay Road. The duplex building (Building 1) is oriented toward the street with walkways connecting the public sidewalk to the entrance of each unit. Another pedestrian walkway along the internal drive aisle connects the rest of the development to the public sidewalk.

The triplex building (Building 2) is located to the rear of the property, overlooking Building 1. Parking and bicycle storage is provided within individual two-car garages which are located at the rear of Building 1 and at the front of Building 2. An electric bike charging station and a community mailbox area is provided adjacent to Building 1.

The refuse and recycling containers are individual totes to be stored within each unit and collected from the front entrances. In order to address the site's grade, concrete retaining walls are proposed within the site.

Building Design

Each building will present a three-storey front elevation (facing Hammond Bay Road) and a two storey rear elevation, with a maximum height of 8.26m. The buildings have pitched rooflines that are characteristic of surrounding ground-oriented residential developments.

Exterior materials include horizontal fibre cement plank and fibre cement panel shingle siding, fascia board belly bands to break up each storey, aluminum garage doors, and double-glazed

vinyl-framed windows. Glazing is prominent on the front and rear of each building. Balconies on Building 1 provide small outdoor amenity spaces and further interest and articulation.

Landscape Design

The proposed landscape plan consists of a rear buffer that includes planted, terraced retaining walls, rain barrels connected to a drip watering system, and fenced-in private amenity areas with outdoor patios. Landscaping in the front includes a low Allan Block wall, shrub beds and trees, concrete pavers leading to the entrances of Building 1, and fenced-in private amenity areas with outdoor patios.

There is a 6m statutory right-of-way (SRW) for City utilities along the west property line that is proposed to be configured with communal gardens for resident use, and finished with hydro-seed where significant vegetation cannot be planted. A retaining wall is proposed along the west side of the drive aisle between Buildings 1 and 2, and a shrub hedge will be planted above the wall. A cedar fence is proposed on the north, west, and south sides of the SRW.

A water feature will be located between the drive aisle and Building 1, and will act as a bioswale for onsite storm water management. The hard landscaping will be primarily permeable pavers and permeable asphalt on the upper driveway. Stamped concrete separates the internal pedestrian walkway from the internal drive aisle, which is finished with concrete pavers. Lighting will be provided on the east elevation of Building 1, adjacent to the internal pedestrian walkway, as well as beside the electric bike charging station and community mailboxes.

Design Advisory Panel

The Design Advisory Panel, at its meeting held on 2021-JUN-24, accepted DP001229 as presented with support for the proposed variances. The following recommendations were provided:

- Consider adding cascading plants over retaining walls where possible;
- Consider varying the east side yard setback for Building 2 to provide space for a staircase on the west side of the property in order to internally access the right-of-way area; and,
- Consider the addition of a shared private amenity space for residents within the right-of-way area.

The applicant subsequently submitted revised plans to address the DAP recommendations. Key site design revisions include:

- Adding cascading or trailing plants to the taller retaining walls;
- Adjusting the setback for the east property line to allow space for an access stair along the west side of Building 2, and providing resident access to the garden plots within the SRW to the west;
- Providing garden plots as a shared amenity (one plot per unit), and minimal garden furniture. This improvement will allow access to the storm and sewer lines within the SRW.

Proposed Variances

Side Yard Setbacks

The minimum required side yard setback is 3m. The proposed side yard setback along the rear portion of the east property line is 1.77m, a requested variance of 1.23m.

In order to provide resident access to the common garden areas from the upper parking area, accommodating the proposed amenity space resulted in a shift of Building 2 toward the east property line necessitating a variance. This change allows for greater pedestrian connectivity onsite. The portion of the building subject to the 1.77m setback variance presents as a two-storey elevation to the east, neighbouring a two-storey duplex. A 1.5m side yard setback would be required for a single residential dwelling of a similar scale. A landscape buffer is also provided between the building and the east property line immediately adjacent to the building.

Fence Height

The maximum permitted combined height for a retaining wall and fence is 1.2m within the front yard setback, and 2.4m within the side and rear yard setbacks. The applicant is proposing multiple retaining walls, with a maximum height of 2.4m within the front yard; 3.7m within the side and rear yards; and outside of the required yard setbacks from 3.0m to 3.95m. This represents requested variances of up to 1.2m within the front yard; 1.3m within the side and rear yards, and a variance of 0.95m outside of the required yard setbacks.

The slope of the land enables the project to step down towards Hammond Bay Road. The proposed grading has been selectively lowered from the existing grade to allow the building frontage to relate more directly to Hammond Bay Road and to be low enough to maximize views for the houses on Gulfview Drive to the south. The proposed grade changes are primarily in areas which are currently paved or developed. The retaining walls at the east property line are proposed to exceed the 2.4m heights by 1.0m in the worst cases. The rear yard stepped retaining walls, each at approximately 1.0m, collectively exceed the 2.4m height by 0.95m. There are no proposed fences on top of the retaining walls. Each wall will have either a continuous hedge as a buffer, or combination thereof with a 1.07m guardrail when required. Trailing plantings will be located at the top of the taller retaining walls to mitigate the visual impact of the walls, and to soften the effect of the rock.

Landscape Buffer

Part 17 of the Zoning Bylaw requires that properties within the R6 zone meet a Minimum Landscape Treatment Level 2 within the side yard, with a minimum width of 1.8m. The proposed landscape plan does not meet the minimum width along the east property line, therefore, a variance is required.

Due to the topography of the property, the presence of services along the west property line, and that a retaining wall cannot be built within the SRW area, the vehicle access is required to be along the east property line. Placing the access drive on the east side of the property increases the driveway grade elevation, and requires a stepped arrangement of retaining walls without adequate space to provide a 1.8m wide landscape buffer. To buffer the drive aisle with landscaping, new continuous hedge planting is proposed along the property line at the top of the retaining wall. This will provide a substantial visual buffer to the neighbour.

Overall, the number of onsite trees will be increased by significantly more than 20%, and the area of pervious surfaces onsite will be increased by a minimum of 50% from the existing conditions.

Staff support the proposed variances.

SUMMARY POINTS

- The applicant is proposing to construct a five-unit ground-oriented multi-family townhouse development consisting of one duplex and one triplex building.
- The slope of the land enables the project to step down towards Hammond Bay Road. The proposed grading has been selectively lowered from the existing grade to allow the building frontage to relate more directly to Hammond Bay Road and to be low enough to maximize views for the houses on Gulfview Drive to the south.
- Overall, the number of onsite trees will be increased by significantly more than 20%, and the area of pervious surfaces onsite will be increased by a minimum of 50% from the existing conditions.
- Staff support the proposed variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Context Map
ATTACHMENT C: Location Plan
ATTACHMENT D: Site Plan
ATTACHMENT E: Building Elevations and Details
ATTACHMENT F: Building Rendering
ATTACHMENT G: Landscape Plan and Details
ATTACHMENT H: Schedule D – Amenity Requirements for Additional Density
ATTACHMENT I: Aerial Photo

Submitted by:

Lainya Rowett
Manager, Current Planning

Concurrence by:

Jeremy Holm
Director, Development Approvals

Dale Lindsay
General Manager, Development Services
/ Deputy CAO

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 7.5.1 – Siting of Buildings* – To reduce the minimum required side yard setback from 3.0m to 1.77m along the east side property line.
2. *Section 6.10.2 – Fence Height* – To increase the maximum permitted combined retaining wall and fence height within the front yard setback from 1.2m to 2.4m; and within the side and rear yards from 2.4m to 3.7m.
3. *Section 6.10.5 – Fence Height* – To increase the maximum permitted combined retaining wall and fence height outside of the required yard setbacks from 3.0m to 3.95m.
4. *Section 17.11 – Minimum Landscape Treatment Levels* – To reduce the minimum required landscape buffer width of 1.8m to 0m along the east side property line.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the proposed Site Plan prepared by H.R. Hatch Architect Ltd., revision dated 2022-MAR-09, as shown on Attachment D.
2. The development is in substantial compliance with the proposed Building Elevations prepared by H.R. Hatch Architect Ltd., dated received 2022-APR-06, as shown on Attachment E.
3. The subject property is developed in substantial compliance with the proposed Landscape Plan and Details prepared by Prospect & Refuge Landscape Architects., revision dated 2022-MAR-18, as shown on Attachment G.
4. The subject property is developed in accordance with the ‘Schedule D – Amenity Requirements for Additional Density’ received 2022-APR-06, as shown in Attachment H, and is to include the following items:
 - A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and
 - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.

ATTACHMENT B CONTEXT MAP

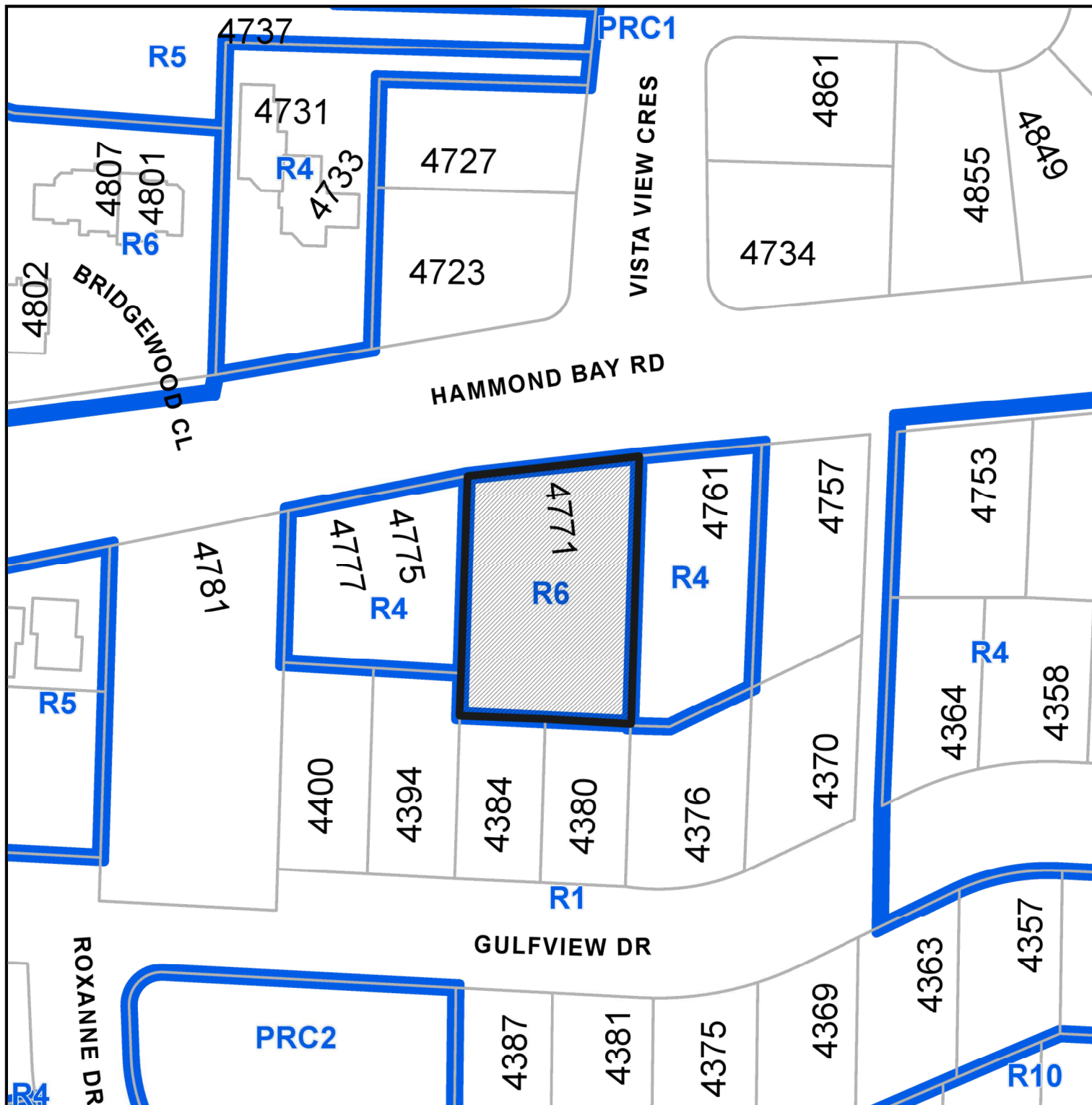


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4771 HAMMOND BAY ROAD

ATTACHMENT C
LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001229

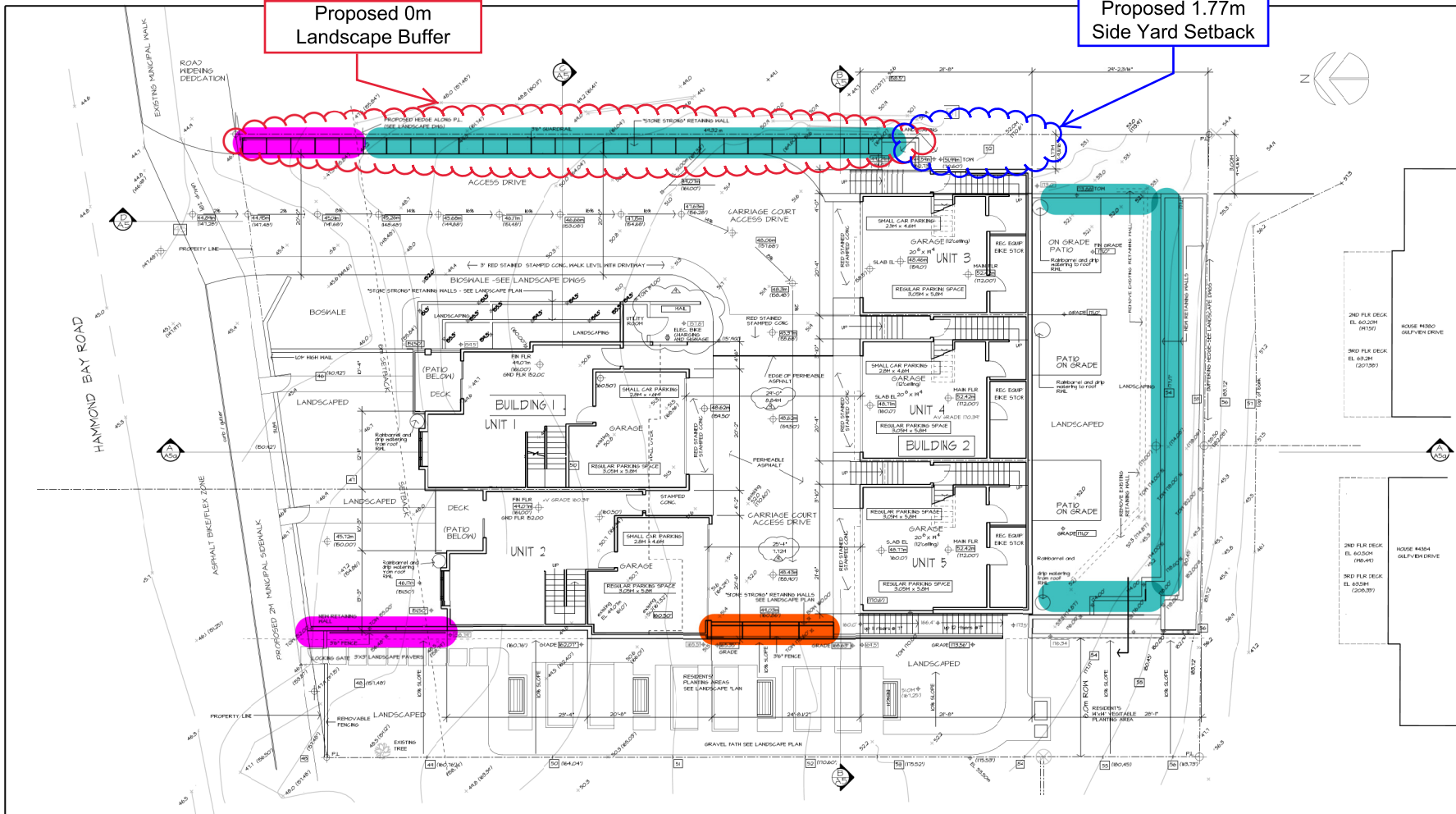


Subject Property

CIVIC: 4771 HAMMOND BAY ROAD

LEGAL: LOT C, DISTRICT LOT 51, WELLINGTON DISTRICT, PLAN EPP33196

ATTACHMENT D SITE PLAN



Proposed 0m
Landscape Buffer

Proposed 1.77m
Side Yard Setback

Proposed Retaining Wall Heights

- Up to 3.95m
- Up to 3.70m
- Up to 2.40m

LEGEND

- 52.2 EXISTING SPOT ELEVATIONS IN METERS
- EXISTING CONTOUR LINE ELEVATIONS IN METERS
- 52.20m (171.29') EXISTING GRADE SPOT ELEVATIONS FROM SURVEY (existing grade in imperial in brackets)
- 52.20m (171.25') PROPOSED FINISHED GRADE / ELEVATION (grade in imperial in brackets)

No.	Date	Description	Drawn
1	MAR 9/22	TRK CHARGER / AISLE WIDTHS	
2	JAN 24/22	UPDATE PLANTING AREA	
3	DEC 11/21	PERMISSION FOR DEVELOPMENT PERMIT	
4	MAR 15/21	SUBMISSION FOR DEVELOPMENT PERMIT	
5	JAN 7/21	SUBMISSION FOR DEVELOPMENT PERMIT	
6	DEC 12/20	SUBMISSION FOR DEVELOPMENT PERMIT	
7	NOV 4/20	PLANNING COMMENTS	
8	OCT 13/20	PRELIMINARY FOR REVIEW	
9	SEP 25/20	PRELIMINARY FOR REVIEW	

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H. R. HATCH ARCHITECT LTD.
Design - Planning - Research



601-1587 West 8th Avenue Vancouver, B.C. V6J 1T5
Tel: (604) 261-2347

Consultant	
Seal	Seal

Project
PROPOSED TOWNHOUSES

Location
4771 HAMMOND BAY ROAD
NANAIMO, B.C.

Drawing Title
SITE PLAN

Drawn		Project No.	2017-02
Chkd.		Issued Date	FEB 2/22
Scale	1/8"=1'-0"	Reproduction Scale	

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DP 1229
2022-MAR-25

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ATTACHMENT E BUILDING ELEVATIONS AND DETAILS



Exterior Finish Legend Building 1	
<p>① ASPHALT SHINGLES - BLACK</p> <p>② DOUBLE GLAZED VINYL FRAMED WINDOWS C/M WOOD TRIM</p> <p>③ 6" X 12" ALUMINUM GARAGE DOORS - SHERWIN WILLIAMS S 1085 ARBOIS LIGHT MET</p> <p>④ PREFINISHED ALUMINUM GUTTER ON 2" X 6" FASCIA BOARD - SHERWIN WILLIAMS S1700S PURE WHITE</p> <p>⑤ HARDEPLANK HORIZONTAL SIDING - HARDS SHEET SLATE</p> <p>⑥ HARDEPANEL SHINGLE SIDING - HARDS BOOTHBAY BLUE</p> <p>⑦ 2" X 6" FASCIA BOARD/BELLYBAND - SHERWIN WILLIAMS S1700S PURE WHITE</p>	<p>⑧ PREFINISHED ALUMINUM GUARDRAILS - WHITE</p> <p>⑨ 3" X 6" STEEL ENTRY DOORS C/M LITE - SHERWIN WILLIAMS S1400 RED MET</p> <p>⑩ 6" OVERLAPPED CEDAR BOARD</p> <p>⑪ STONESTRONG RETAINING WALL 5" SYSTEM LIGHTER COLOR BY OWNER</p>



4	JAN 20/21	SUBMISSION FOR DEVELOPMENT PERMIT
3	JAN 7/21	SUBMISSION FOR DEVELOPMENT PERMIT
2	DEC 12/20	SUBMISSION FOR DEVELOPMENT PERMIT
1	DEC 2/20	REV FOR IP SUBMISSION
No.	Date	Description
Revisions		

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Design - Planning - Research

601-1587 West 8th Avenue Vancouver, B.C. V5L 1T5
Tel.: (604) 261-2347

Consultant:

Seal: _____ Seal: _____

Project
PROPOSED TOWNHOUSES

Location
4711 HAMMOND BAY ROAD
NANAIMO, B.C.

Drawing Title
BUILDING 1
ELEVATIONS

Drawn	Appr.	Project No.	2017-02
Issued Date	Date	Drawing No.	
Scale	AS SHOWN		
Reproduction Scale			

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01/28
2021-APR-06
Current Planning



BUILDING 2 EAST ELEVATION



NORTH ELEVATION

Exterior Finish Legend Building 2	
1 ASPHALT SHINGLES - BLACK	6 PREFINISHED ALUMINUM GUARDRAILS - WHITE
2 DOUBLE GLAZED VINYL FRAMED WINDOWS C/W MOOD TRIM	7 3" x 6" STEEL ENTRY DOORS C/W LITE - SHERWIN WILLIAMS SH 6021 RED BAY
3 16" x 16" ALUMINUM GARAGE DOORS - SHERWIN WILLIAMS SH 7000 SHADY LIGHT HEST	8 6" OVERLAPPED CEDAR BOARD
4 PREFINISHED ALUMINUM GUTTER ON 2 X 6 FASCIA BOARD - SHERWIN WILLIAMS SH 6000 PURE WHITE	9 STONESTRONG RETAINING WALL SYSTEM CUSTOM COLOR BY OWNER
5 HARDEPLANK HORIZONTAL SIDING - SHERWIN WILLIAMS SH 6000 PURE WHITE	
6 HARDEPANEL SHINGLE SIDING - HARDEZ LIGHT HEST	
7 2 X 6 FASCIA BOARD/BELLYBAND - SHERWIN WILLIAMS SH 6000 PURE WHITE	



WEST ELEVATION



SOUTH ELEVATION

No.	Date	Description	Drawn
4	JAN 20/21	REV FOR DEV PERMIT SUBMISSION	
3	JAN 12/21	REV FOR DEV PERMIT SUBMISSION	
2	DEC 12/20	REV FOR DEV PERMIT SUBMISSION	
1	DEC 7/20	REV FOR DP SUBMISSION	
1	DEC 2/20	REV FOR DP SUBMISSION	

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H. R. HATCH. ARCHITECT. LTD
 Design - Planning - Research

601-1587 West 8th Avenue Vancouver, B.C. V6I 1T5
 Tel: (604) 261-2347

Consultant

Seal

Project
PROPOSED TOWNHOUSES

Location
 4771 HAMMOND BAY ROAD
 NANAIMO B.C.

Drawing Title
BUILDING 2 ELEVATIONS

Drawn	Project No.
CHKD.	2017-02
Issued Date	Date
Scale	Reproduction Scale
Scale	Reproduction Scale

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 2021-APR-06
 Current Planning

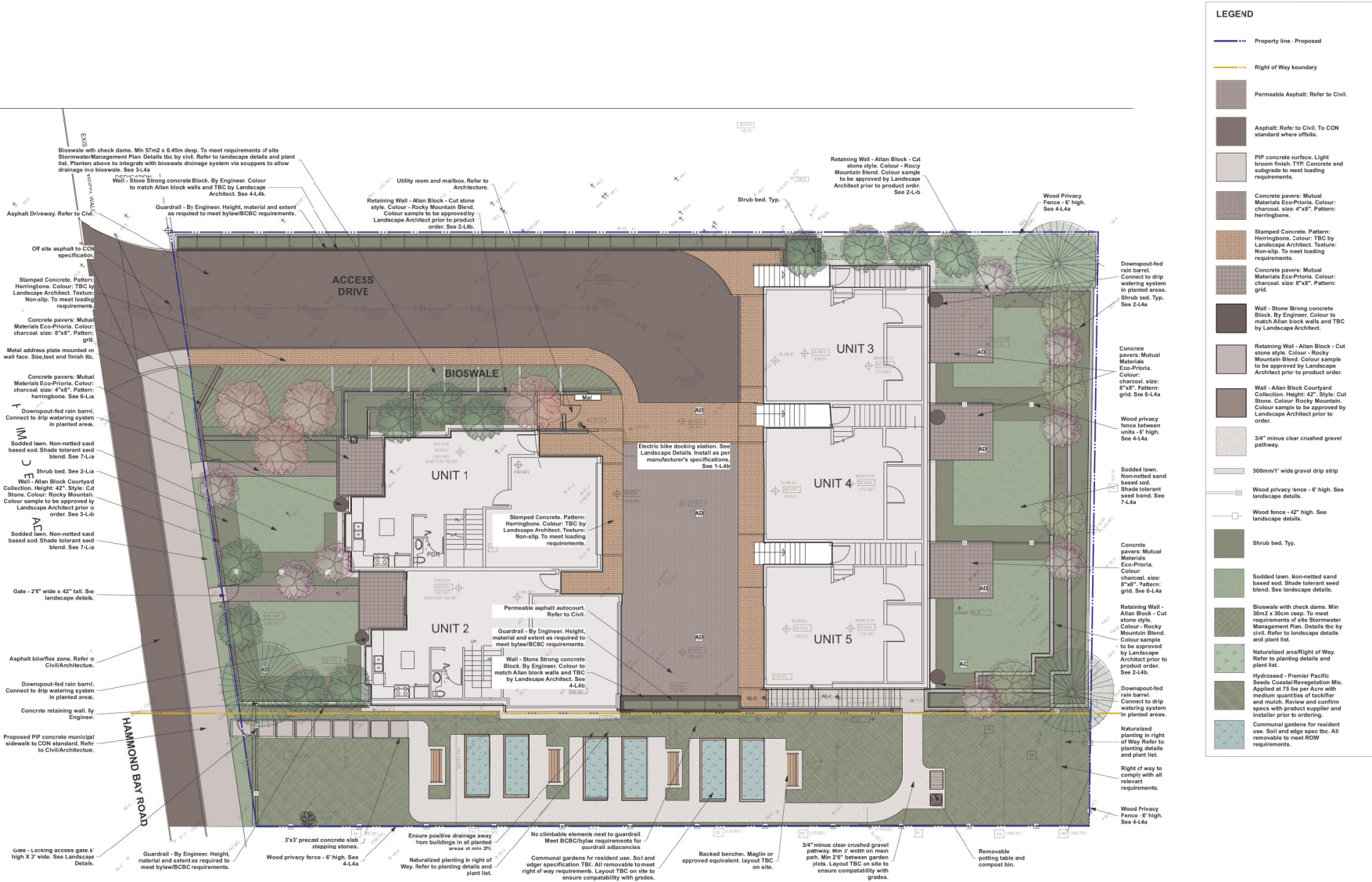
**ATTACHMENT F
BUILDING RENDERING**



HAMMOND BAY RESIDENCES

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0PT222
2021-APR-08
Cultrax Planning

ATTACHMENT G LANDSCAPE PLAN AND DETAILS



LEGEND

- Property line - Proposed
- Right of Way boundary
- Permeable Asphalt: Refer to Civil.
- Asphalt: Refer to Civil. To CON standard where off-site.
- PIP concrete surface. Light brown finish. TYP. Concrete and subgrade to meet loading requirements.
- Concrete pavers: Mutual Materials Eco-Priora. Colour: charcoal. size: 8"x8". Pattern: herringbone.
- Stamped Concrete. Pattern: Herringbone. Colour: TBC by Landscape Architect. Texture: Non-slip. To meet loading requirements.
- Concrete pavers: Mutual Materials Eco-Priora. Colour: charcoal. size: 8"x8". Pattern: grid.
- Wall - Stone Strong concrete Block. By Engineer. Colour to match Allan block walls and TBC by Landscape Architect.
- Retaining Wall - Allan Block - Cut stone style. Colour: Rocky Mountain Blend. Colour sample to be approved by Landscape Architect prior to product order. See 2-4-4b.
- Wood Privacy Fence - 6' High. See 4-4-4a.
- Downspout-fed rain barrel. Connect to drip watering system in planted areas. Shrub bed. Typ. See 2-4-4a.
- Concrete pavers: Mutual Materials Eco-Priora. Colour: charcoal. size: 8"x8". Pattern: grid.
- Wall - Stone Strong concrete Block. By Engineer. Colour to match Allan block walls and TBC by Landscape Architect.
- Retaining Wall - Allan Block - Cut stone style. Colour: Rocky Mountain Blend. Colour sample to be approved by Landscape Architect prior to product order. See 2-4-4b.
- Wall - Allan Block Courtyard Collection. Height: 42". Style: Cut Stone. Colour: Rocky Mountain. Colour sample to be approved by Landscape Architect prior to order. See 2-4-4b.
- Wood privacy fence between units - 6' High. See 4-4-4a.
- 3/4" minus clear crushed gravel pathway.
- 300mm² wide gravel drip strip.
- Wood privacy fence - 6' High. See landscape details.
- Wood fence - 42" High. See landscape details.
- Shrub bed. Typ.
- Concrete pavers: Mutual Materials Eco-Priora. Colour: charcoal. size: 8"x8". Pattern: grid. See 6-4-4a.
- Sodded lawn. Non-netted sand based sod. Shade tolerant seed blend. See 7-4-4a.
- Bioswale with check dams. Min 30x2 x 30cm deep. To meet requirements of site Stormwater Management Plan. Details to be approved by Civil. Refer to landscape details and plant list.
- Retaining Wall - Allan Block - Cut stone style. Colour: Rocky Mountain Blend. Colour sample to be approved by Landscape Architect prior to product order. See 2-4-4b.
- Downspout-fed rain barrel. Connect to drip watering system in planted areas.
- Naturalized area/Right of Way. Refer to planting details and plant list.
- Downspout-fed rain barrel. Connect to drip watering system in planted areas.
- Naturalized planting in right of way. Refer to planting details and plant list.
- Right of way to comply with all relevant requirements.
- Wood Privacy Fence - 6' High. See 4-4-4a.

Planting Notes

1. All materials and execution of landscape works shall conform to the Canadian Landscape Standard. Refer to document for complete landscape documentation.
2. The Landscape Contractor shall ensure that the on-site planting medium/meets the specification and recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
3. All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape standard for container grown stock.
4. Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede that list.
5. All plant material to be supplied on the job site must be obtained from a nursery participating in the ICMA Phytophthora amovum Certification Program. Plant material provided by the contractor found to be carrying Pw will be removed, disposed of and replaced at the contractor's expense.
6. Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the landscape architect and request additional instructions.
7. Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed those indicated on the plant list. The plants shall not be pruned prior to delivery except upon special approval.
8. Root balls to be free of pernicious weeds.
9. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
10. The prepared sub-grade shall be approved by the Landscape Consultant prior to application of top soil mixtures and finish grading. Contact Landscape Architect 1 week before anticipated sub-grade completion date to schedule review.
11. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 (200mm) as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 31) shall be under extended warranty until the June 1 of the following year.
12. The Landscape architect is to approve any plant material substitutions. Upon delivery, all plant material must meet CLS standards.
13. The exact location of trees shall be determined on site and field IT subject to obstructions where applicable.
14. All landscaping to have high efficiency irrigation system to IABC standards.
15. Minimum planting medium depths unless otherwise noted. Refer to table below.

BIRD FRIENDLY PLANTING DESIGN STRATEGIES

The landscape has been designed to maximize desirable characteristics for local birds. Layered planting with groundcover, shrubs and canopy vegetation provides shelter and nesting opportunities. Fruiting plants provide a source of food and irrigation provides a continuous source of water.

Date	Issue Notes
J 2022-03-18	Re-Issue for DP
I 2022-02-03	Issued for Development Permit
H 2022-02-02	Issued for Review
G 2022-01-28	Issued for Development Permit Coordination
F 2022-01-28	For Coordination: Arch Site Revisions
E 2021-03-22	Issue for Development Permit
D 2021-01-21	Issued for Review
C 2020-12-17	Issued for Coordination - IN PROGRESS.
B 2020-11-04	Issued for Coordination

RECEIVED
DP 1229
2022-MAR-22
CITY OF VANCOUVER

Prospect & Refuge
LANDSCAPE ARCHITECTS
#1-604-263-9696 | 4646@prospectandrefuge.ca
Building over 25 years of history in Jonathan Lewis, Ltd.

- ### TREE NOTES
1. The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector at local municipality and request a tree barrier inspection at least 48 hours in advance of the building permit.
 2. Protection of existing trees/shrubs to remain: Install temporary tree protection fencing to meet all relevant bylaws/standards at location specified by Arborist or drip line if unspecified of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed on landscape as directed.

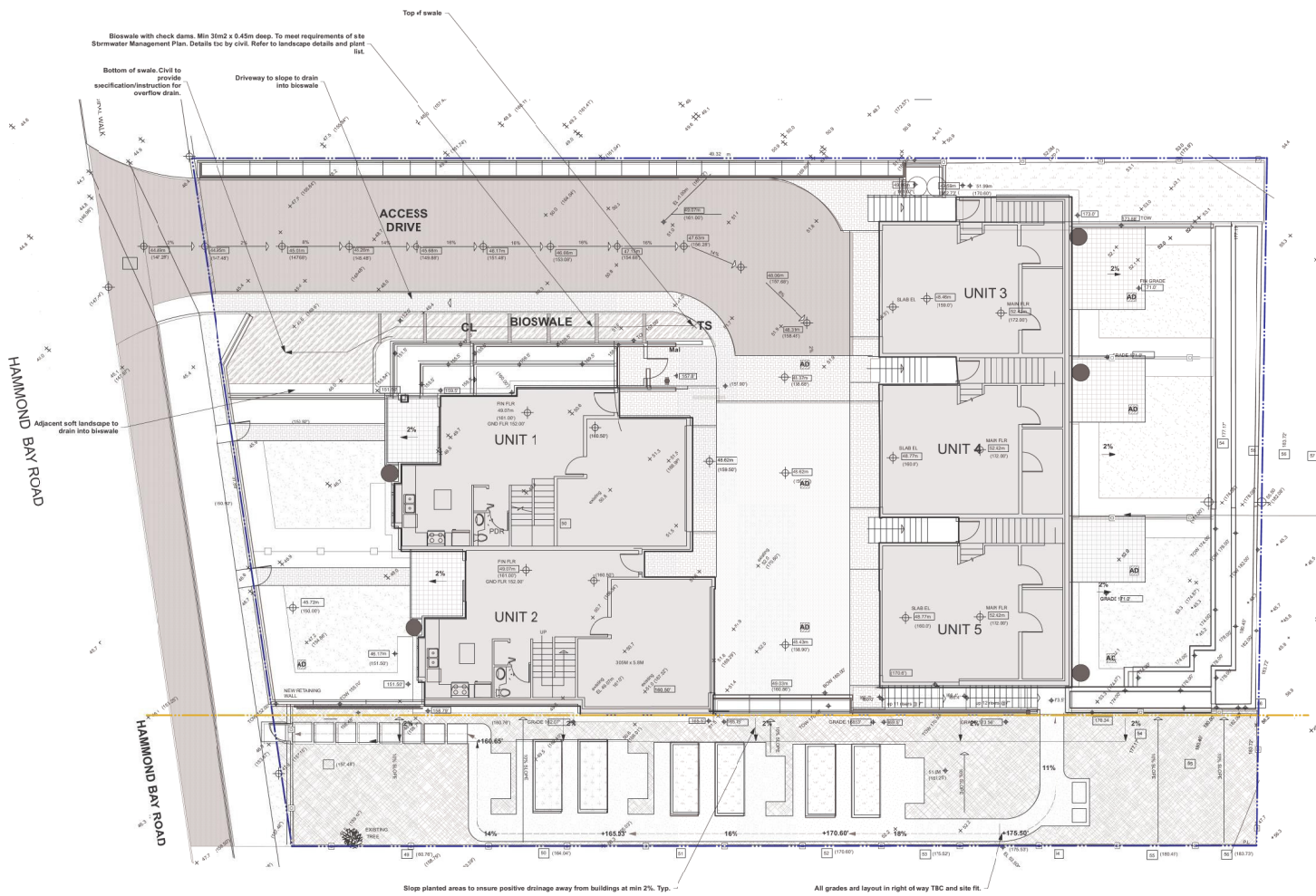
- ### LANDSCAPE NOTES
1. All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material in Washington and BC.
 2. Sizes on the planting plan shall be considered minimum sizes.
 3. Root balls to be free of pernicious weeds.
 4. Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turfplanting. Provide verification of fertilizer and time applications and rates during the installation and maintenance periods. Off slab minimum soil depths are 6" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
 5. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrade to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide/prepare grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope toward lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3:1 slope. Slope grass swales (without additional erosion protection) along street minimum 1% and maximum 10% and along side slopes minimum 5:1 slope and maximum 3:1 slope.
 6. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 (200mm) as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 31) shall be under extended warranty until the June 1 of the following year.
 7. Planting material on City Boulevard will have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
 8. All landscaping to have high efficiency irrigation system to IABC standards.

- A. All landscaping shall be permanently maintained in good condition with the same quality and quantity of landscaping as was initially approved and without alteration of the approved design; the owner shall make provision for permanent irrigation works necessary to water the landscaping.
- B. Individual plants to be used in landscaping shall have normal, well developed branches and vigorous fibrous root systems; such plants shall be healthy, vigorous and free from defects, decay, disfiguring roots, unsuitably injuries, abrasions of the bark, plant diseases, insect pests, galls, borers and all forms of infestation or objectionable disfigurements.
- C. The coordination and scheduling of all work on the site shall be such that no damage occurs to introduced vegetation before or after installation or to natural vegetation or to existing soil conditions as determined by local weather conditions and the requirements of living plant material.
- D. Imported topsoil shall be free from subsoil, roots, toxic materials, stones over 30 mm in diameter and foreign objects. Topsoil shall be free from crabgrass, weeds, or other objectionable disfigurements.
- E. The working area shall be maintained in an orderly manner and shall not be encumbered with equipment, materials, or debris.
- F. Clean up shall be a continuing process from the start of the work to final acceptance of the project. Property to which work is in progress shall at all times be kept free from accumulations of waste materials or rubbish. Accumulations of waste materials which might constitute a fire hazard shall not be permitted. Spillage from hauling vehicles on traveled public or private roads shall be promptly cleaned up. On completion of construction, all temporary structures, rubbish and waste materials resulting from the operations, shall be removed.

Project Title and Address
2020-22
4771 Hammond Bay Road, Nanaimo, B.C.

Issue Title
Landscape Illustrated Context Plan

Project Manager	AS	Project No.	2020-22
Designer	KZ	Scale	1/8" = 1'-0"
Reviewed by	JL	Sheet No.	
Date	OCT 2020		L2a



LANDSCAPE NOTES

- All landscape contractor to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extended search for plant material to Washington and BC.
- Sizes or the planting plan shall be considered minimum sizes.
- Root balls to be free of peniculous weeds.
- Top soil mixtures for the project shall be tested for particle size, pH, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Off slab minimum soil depths are 8" (150mm) for lawn areas and 15" (400mm) for shrub beds and ground cover plantings. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
- The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3.1% slopes. Slope grass areas (without additional erosion protection) along invert minimum 1% and maximum 3% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
- Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Planting material on City Boulevard to have the approval of the Parks Dept prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IASBC standards.

TREE NOTES

- The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector at local municipality and request a tree barrier inspection at least 48 hours in advance of the building permit.
- Protection of existing trees/shrubs to remain. Install temporary tree protection fencing to meet all relevant bylaws/standards at location specified by Arborist (or strip the landscape) of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.

LEGEND

- Property line - Proposed
- Right of Way boundary
- Direction of flow
- AB: N-level area drain Typ. Locations to be by Civil.

Grading (by Architect)

- Existing grades
- Proposed grades
- Existing contour elevation

Date	Issue Notes
J 2022-03-18	Re-Issue for DP
I 2022-02-03	Issued for Development Permit
H 2022-02-02	Issued for Review
G 2022-01-26	Issued for Development Permit Coordination
F 2022-01-20	For Coordination: Arch Site Revisions
E 2022-03-22	Issue for Development Permit
D 2021-01-21	Issued for Review
C 2020-12-17	Issued for Coordination - IN PROGRESS.
B 2020-11-04	Issue for Coordination

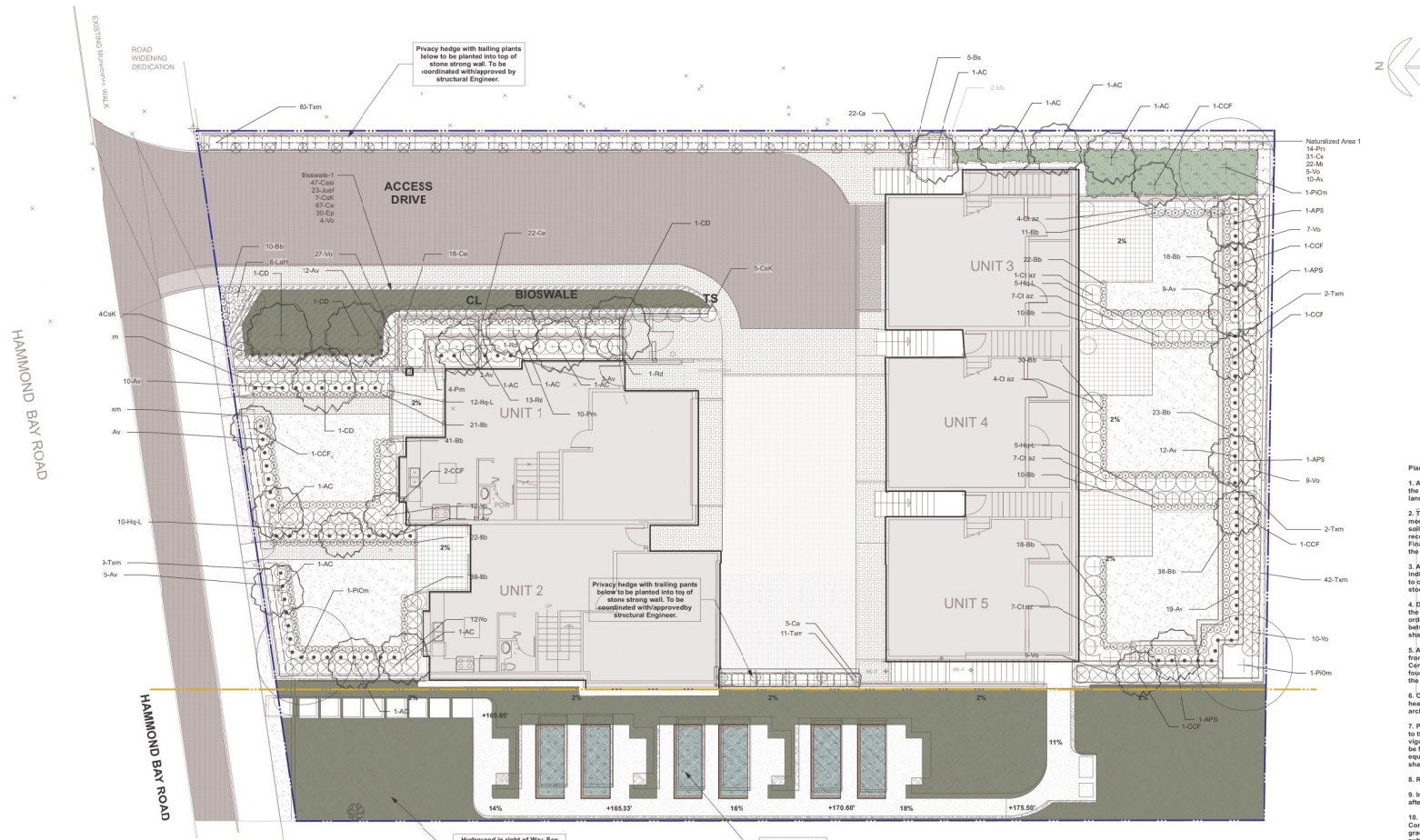
RECEIVED
DP 229
 2022-MAR-22

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #1-866-763-6666 (toll-free) BC: 604-263-1000
 416-669-1000 | info@prospectrefuge.ca
 Building over 25 years of history w/ Jonathan Lewis, LDB.

Project Title and Address
2020-22
 4771 Hammond Bay Road, Nanaimo, B.C.

Project Name
Landscape Grading Plan

Project Manager: AS	Project No.: 2020-22
Drawn By: KZ	Scale: 1/8" = 1'-0"
Reviewed By: JL	Sheet No.: L2b
Date: OCT 2020	



- Planting Notes**
- All materials and execution of landscape works shall conform to the Canadian Landscape standard. Refer to document for complete landscape documentation.
 - The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification and recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
 - All plant material shall meet minimum size requirements as indicated in plant list. Quality of plant material and grading of site to conform to Canadian Landscape standard for container grown stock.
 - Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede the list.
 - All plant material to be supplied on the job site must be obtained from a nursery participating in the BCMA Phytophthora nematode Certification Program. Plant material provided by the contractor found to be carrying P.V. will be removed, disposed of and replaced at the contractor's expense.
 - Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the landscape architect and request additional instructions.
 - Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth for the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be pruned prior to delivery except upon special approval.
 - Root balls to be free of pernicious weeds.
 - Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
 - The prepared sub-grade shall be approved by the Landscape Consultant prior to application of top soil mixtures and finish grading. Contact Landscape architect 1 week before anticipated sub-grade completion date to schedule review.
 - Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
 - The Landscape architect is to approve any plant material substitutions. Upon delivery all plant material must meet CLS standards.
 - The Exact location of tree shall be determined on site and field to subject to observations where applicable.
 - All landscaping to have high efficiency irrigation system to IAABC standards.
 - Minimum planting medium depths unless otherwise noted: Refer to table below.

- BIRD FRIENDLY PLANTING DESIGN STRATEGIES:** The landscape has been designed to maximize desirable characteristics for local birds. Layered planting with prostrate, shrub and canopy vegetation provides shelter and nesting opportunities. Fruiting plants provide a source of food and irrigation provides a continuous source of water.
- TREE NOTES**
- The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector at local municipality and request a tree barrier inspection at least 48 hours in advance of building permit.
 - Protection of existing trees/shrubs to remain: Install temporary tree protection fencing to meet all relevant bylaws/standards at location specified by Arborist or drip line if unaccepting of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Temporary protective fencing as directed and landscape is directed.

LEGEND

- Property line - Proposed
- Right of Way boundary
- Bioswale with check dams. Min 30x2 x 30cm deep. To meet requirements of site Stormwater Management Plan. Details the by civil. Refer to landscape details and plant list.
- Naturalized Area. Refer to painting details and plant list.
- Subsoil Inert. Non-retent sand based soil. Shade tolerant seed bed. See landscape details.
- Hydroseed - Premier Pacific. Seede Coastal Fertilization Mix. Applied at 75 lbs per Acre with medium quantities of fertilizer and mulch. Review and confirm space with product supplier and installer prior to ordering.
- Communal gardens for resident use. Soil and edge spec the. All removable to meet ROW requirements.

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G 2022-01-26	Issued for Development Permit Coordination	
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Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #3-865 Westside Meadows, BC V6L 1R3
 604-669-1000 | info@prospectandrefuge.ca
 Building over 25 years of history as Jonathan Looze, Ltd.

Project Name and Address
2020-22
 4771 Hammond Bay Road, Nanaimo, B.C.

Draw Title
Landscape Planting Plan

Project Manager	Project No.
AS	2020-22
Drawn By	Scale
KZ	1/8" = 1'-0"
Reviewed By	Scale
JL	
Date	
OCT 2020	L3

PLANT LIST

ID	Latin Name	Common Name	Quantity	Schedule/Size
TREES				
AC	Acer circinnatum	Vine Maple	11	B+B, Multistem, 8' Min height
APS	Acer palmatum dissectum	'Serrisy' Serris Japanese Maple	4	B+B, 8' Min height
CCF	Cercis canadensis 'Forest Fantasy'	Forest Flower Redbud	8	B+B, Multistem, 8' Min height
CD	Crataegus douglasii	Douglas Hawthorn	4	B+B, Multistem, 5' Min Standard, 8' Min height
PCM	Picea omorika	Serbian Spruce	3	B+B, nuL, Min 12' Tall
SHRUBS AND PERENNIALS				
Av	Aspidistra 'Visions in Purple'	Aspidistra 'Visions in Purple'	100	#1 pot @ 11" oc.
Bb	Bergenia 'Blossingham Ruby'	Blossingham Ruby Bergenia	312	#1 Pot @ 10" oc.
Bs	Blechnum spicant	Deer Fern	5	#1 pot @ 10" oc.
Bs	Carex 'Evergold'	Golden Sedge Grass	40	#1 pot @ 10" oc.
CL zr	Chorizanthe 'Autumn Pearl'	Autumn Pearl Mexican orange	30	#1 pot @ 10" oc.
Ca	Cornus amomum	Evergreen Doanberry	27	#1 pot @ 11" oc.
Csk	Cornus sericea 'Kelsey's Dwarf'	Dwarf Red-Cedar Dogwood	9	#1 pot @ 7 1/2" oc.
Hs-L	Hydrangea quercifolia 'Little Honey'	Dwarf Golden Oakleaf Hydrangea	32	#1 pot @ 7 1/2" oc.
Lst	Lavandula angustifolia 'Hidcote'	Hiocote Lavender	8	#1 pot @ 18" oc.
Pm	Polystichum munatum	Sword Fern	14	#1 pot @ 7 1/2" oc.
Tm	Thalictrum 'medis 'hills'	Hills Flew	159	1 1/2" stem tall full throughout.
Vv	Vaccinium ovatum 'Thunderbolt'	Thunderbolt Evergreen Huckleberry	86	#3 pot @ 2 1/2" oc.

PLANT LIST

ID	Latin Name	Common Name	Quantity	Schedule/Size
NATURALIZED AREA				
Av	Aspidistra 'Visions in Purple'	Aspidistra 'Visions in Purple'	10	#1 pot @ 11" oc.
Ca	Carex 'Evergold'	Golden Sedge Grass	31	#1 pot @ 10" oc.
Bw	Malvastrum coccineum	Creeper Oregon grape	12	#1 pot @ 11" oc.
Pm	Polystichum munatum	Sword Fern	14	#1 pot @ 7 1/2" oc.
Vv	Vaccinium ovatum 'Thunderbolt'	Thunderbolt Evergreen Huckleberry	5	#3 pot @ 2 1/2" oc.
BIOSWALE				
Csk	Cornus sericea	Silks sedge	47	#1 pot @ 11" oc.
Jeef	Janus effusus	Soft Bush	23	#1 pot @ 11" oc.
Csk	Cornus sericea 'Kelsey's Dwarf'	Dwarf Red-Cedar Dogwood	7	#1 pot @ 7 1/2" oc.
Ca	Carex 'Evergold'	Golden Sedge Grass	47	#1 pot @ 11" oc.
Ep	Echinacea purpurea	Purple Cone Flower	30	#1 pot @ 11" oc.
Vv	Vaccinium ovatum 'Thunderbolt'	Thunderbolt Evergreen Huckleberry	4	#3 pot @ 2 1/2" oc.

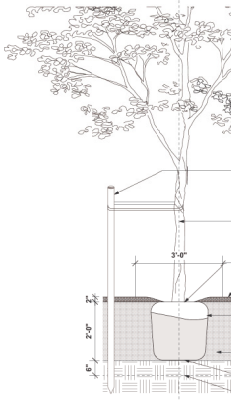
NOTE: Seed quantities for hydroseeded area are not included in plant list tables. Refer to legend for hydroseed specifications.

MINIMUM DEPTHS OF GROWING MEDIA

Application	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
Low Traffic/Lawn Areas	150mm (6")	150mm (6")
Not Irrigated	150mm (6")	225mm (9")
High Traffic/Lawn Areas	150mm (6")	150mm (6")
Planting Areas and Planters		
Ground Cover Areas	300mm (12")	225mm (9")
Small Shrubs	450mm (18")	300-500mm (12-20")
Large Shrubs	450mm (18")	500-900mm (20-36in)
Tree Planting Areas		
	600mm (24") deep for as large an area as possible around each tree.	
	At Each Tree Recommended area 10m ² or greater.	

NOTE: Where individual plant location is not indicated, the intention is a "naturalistic" plant layout, with plants arranged in informal groupings of varied sizes at the spacing indicated. Groups to be no less than 5 plants and no more than 11 of same type plants.

REMOVE ALL NURSERY TIES, STAKES AND LABELS FROM TREES PRIOR TO PLANTING



- NOTES:**
- Do not cut tree leader. Any corrective pruning shall be reviewed with landscape architect.
 - Caliper size and root ball size shall be in accordance with Canadian Landscape Standards.
 - Selected trees shall be approved by Landscape Architect at the nursery or via photographs with scale reference. Trees rejected will be replaced at the contractor's expense.
 - Keep rootballs well watered on site, before and after planting. Ensure a watering plan is in place to sustain new tree plantings for the duration of warranty period.

Trees shall only be staked (both sides) if stability issues are present. Review in field with Landscape Architect or submit rationale in writing to L.A. for approval. Tree stakes shall be removed at the end of contractor's 1 year warranty period.

Ensure tree is plumb. Visually inspect from all sides during planting.

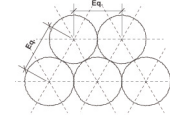
Do not bury root flare. Ensure top of root flare is flush with surrounding grades.

Provide mulched tree well of min. 3" Ø" Ø, keeping min. 8" around trunk clear.

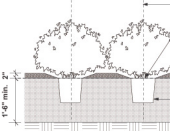
Remove any string or ties from rootball and base of tree. Cut back top 1/3 of barkcap from rootball. If wire basket remains, cut back wire tops.

Soil blend as reviewed and approved by landscape architect. Provide 2-4" depth of soil for an area of 1'Ø. Compact lightly during backfilling to stabilize rootball. Compact soil beneath rootball.

Subgrade scarified to depth of 6". Subgrades to be reviewed with landscape architect prior to soil placement.



Plan view of typical planting layout. Unless otherwise noted, plants are to be spaced equally, in triangular layout pattern, to specified on-centre distance. Refer to planting plan and schedule.



Ensure plants stand plumb - Top of rootballs to be level with top of soil

Well composted bark mulch placed between plants. Do not bury rootballs with mulch.

Ensure tops of rootballs are level with one another.

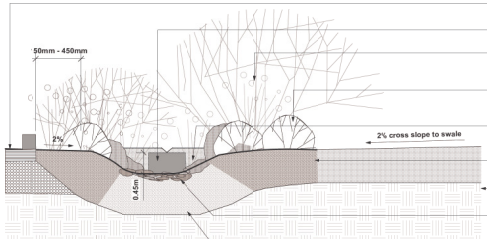
Scarify rootballs gently by hand prior to planting

Scarifier subgrade. Subgrades to be reviewed with landscape architect prior to soil placement

- NOTES:**
- Min. container size and root spread to comply with BC Landscape Standard for Nursery Stock - current edition.
 - Prune all damaged, diseased, and dead limbs.
 - Keep roots moist during installation: water container stock well prior to planting and following planting.

1 Tree Planting on Grade
Scale: 1/2" = 1'-0"

2 Perennial and Shrub Planting on Grade
Scale: 1/2" = 1'-0"



3 Bioswale Cross-Section Typical
Scale: 1/2" = 1'-0"

Adjacent driveway drains to bioswale through m wide curb cuts. Refer to Civil.

Overflow catchbasin.

Mixed planting. Refer to planting plan.

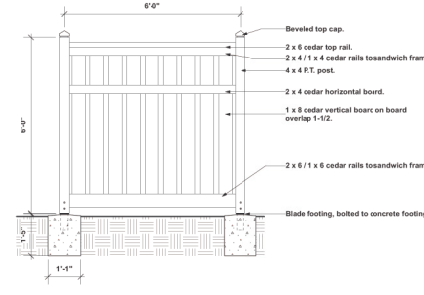
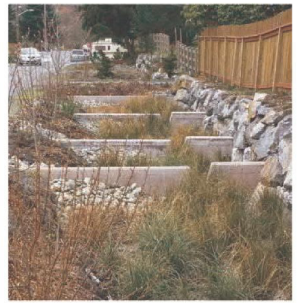
Install large river boulders of 600#60x300, medium boulders 400#40x200 and small boulders 300#30x200 in 'natural groupings' as directed by Landscape Architect and approved by Civil.

Concrete weir within a type low point to control water flow between bioswale sections and promote infiltration.

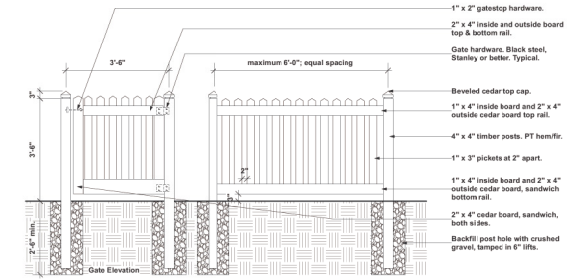
Topsoil 450mm deep.

Prepared subgrade. Stream Body Armour: 200mm of washed river rock 150-300 lbs. on 450mm soil-compost mixture. Rock provides surface for bacteria to grow that breaks down hydrocarbons. Topsoil mixed with 1/3 compost mixture.

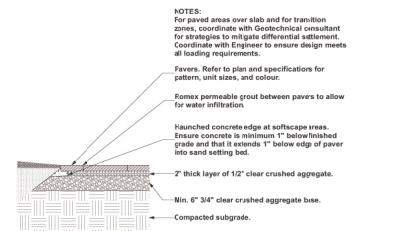
NOTE: Design and specifications to be formally approved by Civil prior to installation.



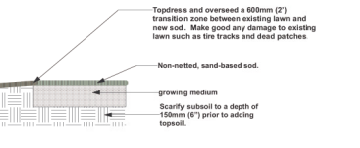
4 6'-0" Ht. Privacy Fence
Scale: 1/2" = 1'-0"



5 3'-6" Ht. Picket Fence with Gate
Scale: 1/2" = 1'-0"



6 Pervious Pavers on Grade
Scale: 1/2" = 1'-0"



Topdress and overseed a 600mm (2') transition zone between existing lawn and new sod. Make good any damage to existing lawn such as the tracks and dead patches.

Non-netted, sand-based soil.

growing medium

Scarify subsoil to a depth of 150mm (6") prior to adding topsoil.

Standard Growing Medium for Lawn offsets: Level 2 type 2 as per Canadian Landscape Standards unless otherwise noted.

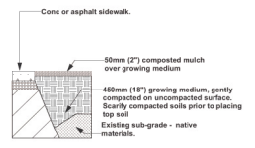
Standard Growing Medium for Lawn on-site: Level 1 type 11 as per Canadian Landscape Standards unless otherwise noted.

-Supply sample to landscape architect for approval

-Soil depths to meet or exceed Canadian Landscape Standard for growing medium.

On-Grade: 6" for irrigated turf, 9" non irrigated, 18" for small shrubs & 24" for large shrubs and 3'-0" for trees.

7 Lawn Installation on Grade
Scale: 1/2" = 1'-0"



Cone or asphalt sidewalk.

50mm (2") composted mulch over growing medium

450mm (18") growing medium, gently compacted on uncompacted surface. Scarify compacted soils prior to placing top soil

Existing sub-grade - native materials.

Standard Growing Medium: Level 1 type 1P as per Canadian Landscape Standards unless otherwise noted.

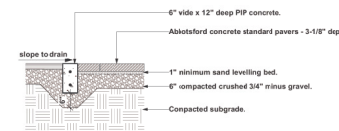
-Supply sample to landscape architect for approval

Tree planting areas requires 3'Ø" soil depth.

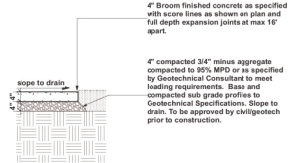
-Soil depths to meet or exceed Canadian Landscape Standard for growing medium.

On-Grade: 6" for irrigated turf, 9" non irrigated, 18" for small shrubs & 24" for large shrubs and 3'-0" for trees.

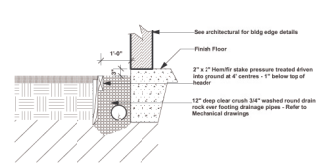
8 Soil Installation on Grade
Scale: 1/2" = 1'-0"



9 Standard Pavers with Flush Concrete Edge
Scale: 1/2" = 1'-0"



10 Concrete Walkway on Grade
Scale: 1/2" = 1'-0"



11 Gravel Drip Strip at Building Edge
Scale: 1/2" = 1'-0"

- NOTES:**
- All Cedar to be STK, S152E - no checks, splits, warts or waness.
 - Stain with two coats of water based stain-colour as selected by Architect.

NOTES:

For paved areas over slab and for transition zones, coordinate with Geotechnical consultant for strategies to mitigate differential settlement. Coordinate with Engineer to ensure design meets all loading requirements.

Favors. Refer to plan and specifications for pattern, unit sizes, and colour.

Komex permeable grout between pavers to allow for water infiltration.

Haunched concrete edge at softscape areas. Ensure concrete is minimum 1" below finished grade and that it extends 1" below edge of paver into sand setting bed.

2" thick layer of 1/2" clear crushed aggregate.

Min. 6" 3/4" clear crushed aggregate base.

Compacted subgrade.

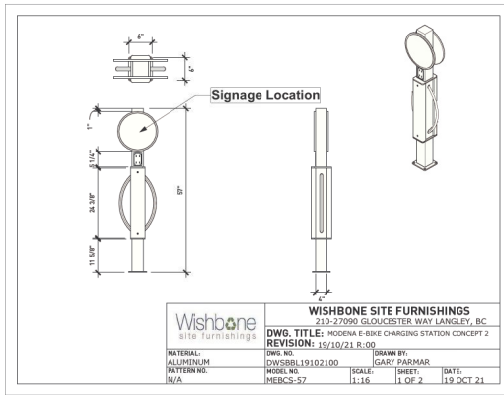
Date	Issue Notes
J 2022-03-18	Re-Issue for DP
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C 2020-11-04	Issued for Coordination - IN PROGRESS.
B 2020-11-04	L2a Only
	Issued for Coordination

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DP1229
2022-MAR-22

Prospect & Refuge
LANDSCAPE ARCHITECTS

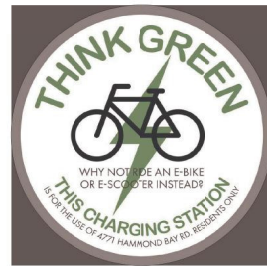
#12-868 W. 42nd Avenue, BC V6V 1G3
604-669-1000 info@prospectandrefuge.ca
Building over 25 years of history as Jonathan Lewis, LLC.

Project Title and Address	
2020-22	4771 Hammond Bay Road, Nanaimo, B.C.
Draw Title	
Landscape Details	
Project Manager: AS	Project No.: 2020-22
Drawn by: KZ	Scale: as noted
Reviewed by: JL	Sheet No.:
Date: OCT 2020	L4a

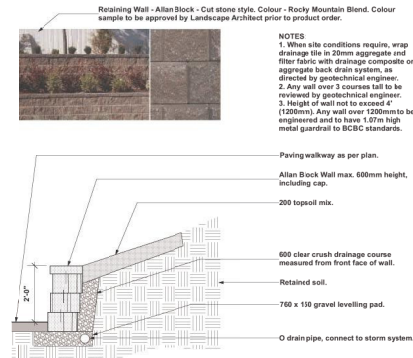


Wishbone SITE FURNISHINGS 213-27090 GLOUCESTER WAY, LANGLEY, BC	
REVISION: 19/10/21 R-00	
DWG. TITLE: MODENA E-BIKE CHARGING STATION CONCEPT 2	DWG. NO: DW5080.191021.00
MATERIAL: ALUMINIUM	DRAWN BY: GARY PARMAR
ALTERN. NO: N/A	MODEL NO: N/A
SCALE: 1:16	SHEET: 1 OF 2
DATE: 19/10/21	

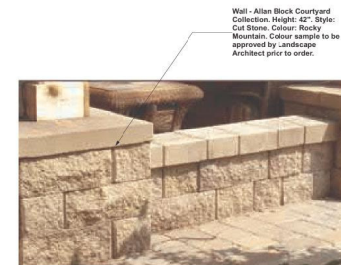
1 Wishbone Modena E-Bike Charging Station
L4b NTS



Example of Text and Potential Layout for E-Bike Charging Station



2 Allan Block Retaining Wall
L4b Scale: 1/2" = 1'-0"



3 Allan Block Freestanding Wall
L4b NTS

24 SF Block
The 24SF Block contributes to the speed of installation. A small size and a couple pieces of equipment can install 1,200 sf a day.

6F Block
The 6F Block allows for tight turning radius, wall steps and vertical & horizontal rebar inserts. The 6F Block can also be used as a stand stone retaining wall.

End/Corner Block
The End/Corner Block is used for 90° turns and finish treatments.

3F Block
The 3F Block allows the wall to step on uneven land.

14F Top Block
The Top Block fits on top of the 24SF block to allow for multiple finish options.

90° Block
The 90° Block provides for inside and outside 90° turns.

45° Block
The 45° Block provides for inside and outside 45° turns.

Dual Face Block
The Dual Face Block provides for above grade applications.

Step/Cap Block
The Step/Cap is used for stair and step applications and its wall.

24SF Moss Extender Block
The addition of the moss extender to the 24SF block provides for greater gravity wall heights.

take your **DESIGN** to the next level

www.stonestrong.com

4 Stonestrong retaining wall system
L4b NTS

Engineered Solutions

- Gravity retaining walls
- Engineered product
- Manufactured to product specifications
- Life cycle savings
- Bigger block
- Faster installations
- Engineering support
- Nationwide availability
- System versatility

Stone Strong Systems
1-877-501-5652
www.stonestrong.com



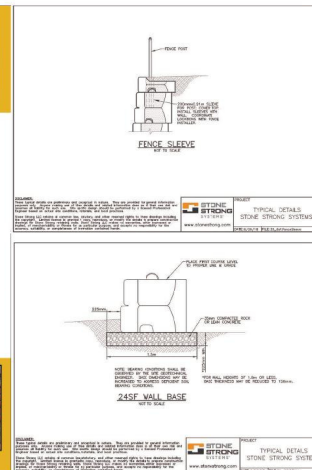
Attractive, affordable, durable, and versatile!

The massive size and scale of Stone Strong blocks make them ideal for use in large-scale applications - highway, railroad, commercial waterways to name a few - providing safe an attractive and structurally sound solution for your project.

Stone Strong's main block boasts a 24 square foot face that measures 3 feet by 8 feet, making it the largest precast retaining wall block available on the market today. The web design of the block maximizes the square footage of the block with minimal concrete used. Stone Strong blocks are engineered both structurally and geotechnically. The blocks are manufactured to product specifications to assure that the units are uniform in weight, dimensional tolerances and strength, unlike other brands retained concrete is never used.

This true gravity wall system can reach heights of 12-15 feet without the use of geogrid or other mechanical setbacks eliminating future conflicts with utilities. Stone Strong walls are designed to meet the height requirements of large retaining walls and with proper engineering may go as high as 40 feet.

Stone Strong blocks feature a void in the middle of the block allowing for free draining aggregate inside the wall creating an internal drainage system. The aggregate fill also provides interlocking strength creating a continuous mass. Additional aggregate backfill material is not required behind the blocks due to this internal drainage system, saving considerable time in installation and excavating costs.



J	2022-03-18	Re-Issue for DP
I	2022-02-03	Issued for Development Permit
H	2022-02-02	Issued for Review
G	2022-01-26	Issued for Development Permit Coordination
F	2022-01-26	For Coordination: Arch Site Revisions
E	2021-03-22	Issue for Development Permit
D	2021-01-21	Issued for Review
C	2020-12-17	Issued for Coordination - IN PROGRESS. L2a Only
B	2020-11-04	Issued for Coordination

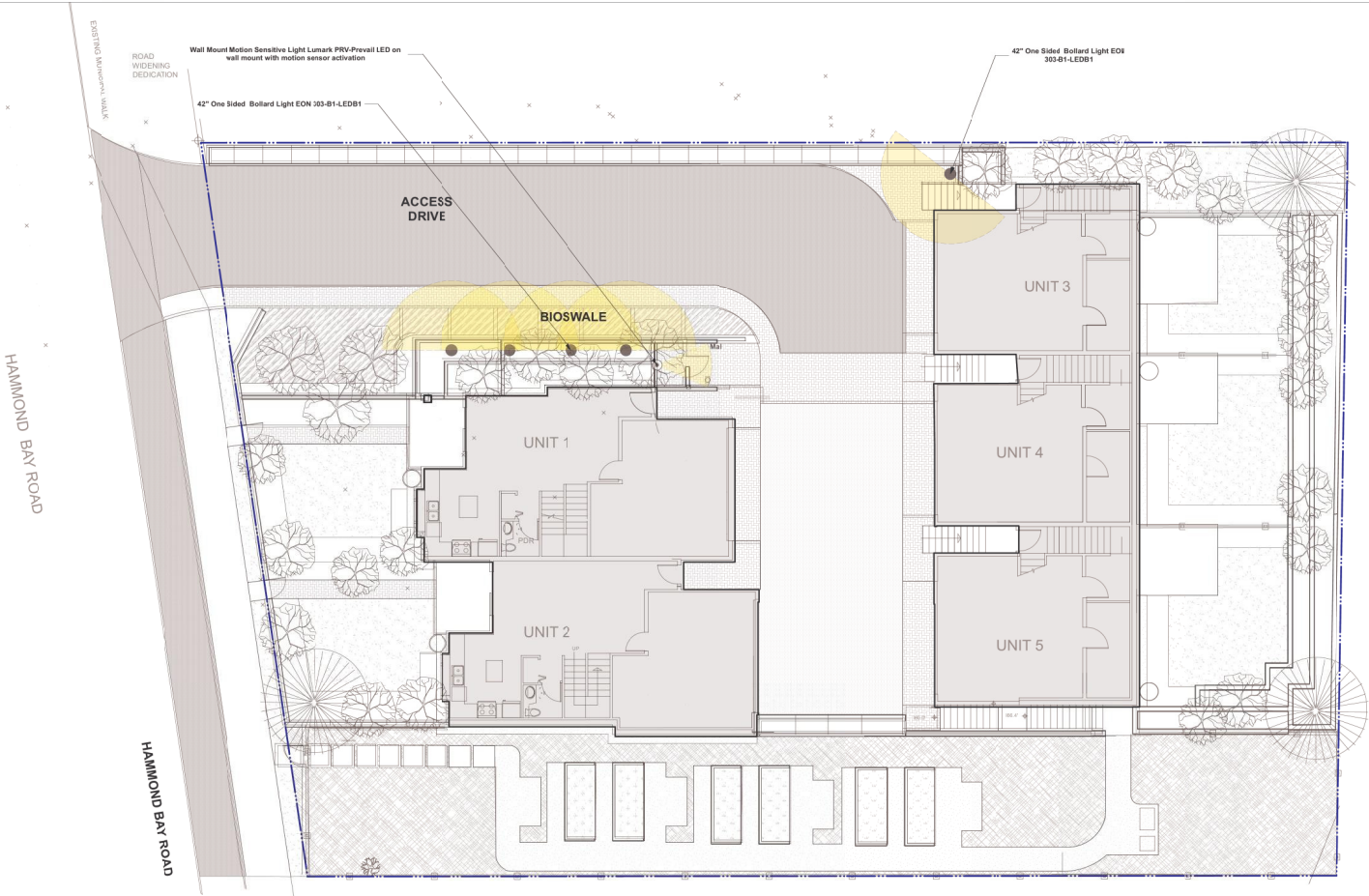
Date	Issue Notes
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Prospect & Refuge
LANDSCAPE ARCHITECTS
#12-868 W. Columbia Street, BC V1L 1G3
604-669-1000 info@prospectrefuge.ca
Building over 25 years of history as Jonathan Lewis, Ltd.

Project Title and Address
2020-22
4771 Hammond Bay Road, Nanaimo, BC.

Landscape Details	
Project Manager: AS	Project No: 2020-22
Drawn By: KZ	Scale: AS NOTED
Reviewed By: JL	Sheet No:
Date: OCT 2020	L4b



LEGEND

- Property line - Proposed
- Right of Way boundary
- 42" One Sided Bollard Light EON 303-B1-LEDB1
- Wall Mount Motion Sensitive Light Lumark PRV-Prevail LED on wall mount with motion sensor activation

LANDSCAPE NOTES

- All landscape constructor to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
- Sizes or the planting plan shall be considered minimum sizes.
- Root balls to be free of pesticious weeds.
- Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Off slab minimum soil depths are 6" (150mm) for lawn areas and 12" (450mm) for shrub beds and ground cover plantings. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.

- The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrade to a minimum depth of 4" (100mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slopes towards lawn basins at minimum 4%. Slope lawns and grass areas minimum 2% and maximum 3.1 slopes. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 0.1 slope and maximum 3.1 slope.
- Landscape Contractor to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 "Groomed" as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Brewers Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IAABC standards.

TREE NOTES

- The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector at local municipality and request a tree barrier inspection at least 48 hours in advance of the building permit.
- Protection of existing trees/shrubs to remain: Install temporary tree protection fencing to meet all relevant bylaws/standards at location specified by Arborist (or drip line if unspecified, of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.

Lumark PRV / PRV-XL-Prevail LED
Area / Site Luminaire

Product Certification

Product Features

Quick Facts

- Lifetime average range from 110,000 - 140,000 lumens (35W - 300W)
- Maximum 10W at 1,000,000 lux equivalent
- 5-year warranty
- Energy and maintenance savings up to 85% versus HPS solutions
- Standard universal quick-mount arm with luminaire and pole

Dimensional Details

COOPER LIGHTING

Lumière

303-B1-LEDB1 EON LED

Product Features

Technical Specifications

Dimensions

ETN

J 2022-03-18 Re-Issue for DP
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B 2020-11-04 Issued for Coordination

Date	Issue Notes

RECEIVED
DP 229
2022-MAR-22
COURT PLANNING

Prospect & Refuge
LANDSCAPE ARCHITECTS
#12-165 W. Columbia Street, Vancouver, BC V6J 1G3
604-683-1000 | info@prospectrefuge.ca
Building over 25 years of history w/ Jonathan Loewen, LIAA.

Project Title and Address
2020-22
4771 Hammond Bay Road, Nanaimo, B.C.

Draw Title
Landscape Lighting Plan

Project Manager: AS	Project No.: 2020-22
Drawn By: KZ	Scale: 1/8"=1'-0" Unless otherwise noted
Reviewed By: AS	Sheet No.: L6
Date: 2020-10-13	

**ATTACHMENT H
SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY**

Schedule 1

Schedule D

Amenity Requirements for Additional Density

In order for a development to include the additional Tier 1 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in at least three of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

The development at 4771 Hammond Bay Rd will include Tier 1 density by achieving the minimum points required in Category 3, 4 and 6 as outlined below.

R E C E I V E D
DP1229
2021-APR-06
Current Planning

Category 3: Parking and Sustainable Transportation (10 points required)

Amenity		Points
D	The parking area within the proposed development includes at least one electric vehicle charging station. <i>The development will include electric vehicle charging stations in all units.</i>	1
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building. <i>The development will incorporate all 10 parking spaces into the design of the building.</i>	4
F	The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: <ul style="list-style-type: none"> a) multiple-family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and b) non-residential uses: 1 motorized scooter or motorcycle space per 600m² of Gross Floor Area for the first 5000m² plus one space per 1500m² of additional Gross Floor Area; and a) a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle. <i>The development will include one designated space with a plug-in for an electric scooter/bicycle.</i>	2
H	Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw. <i>The development will provide the minimum requirement of two car spaces per unit.</i>	2
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area. <i>A sign will be located near the electric bicycle/scooter plug-in, indicating its purpose and instructions for use.</i>	1
Total		10

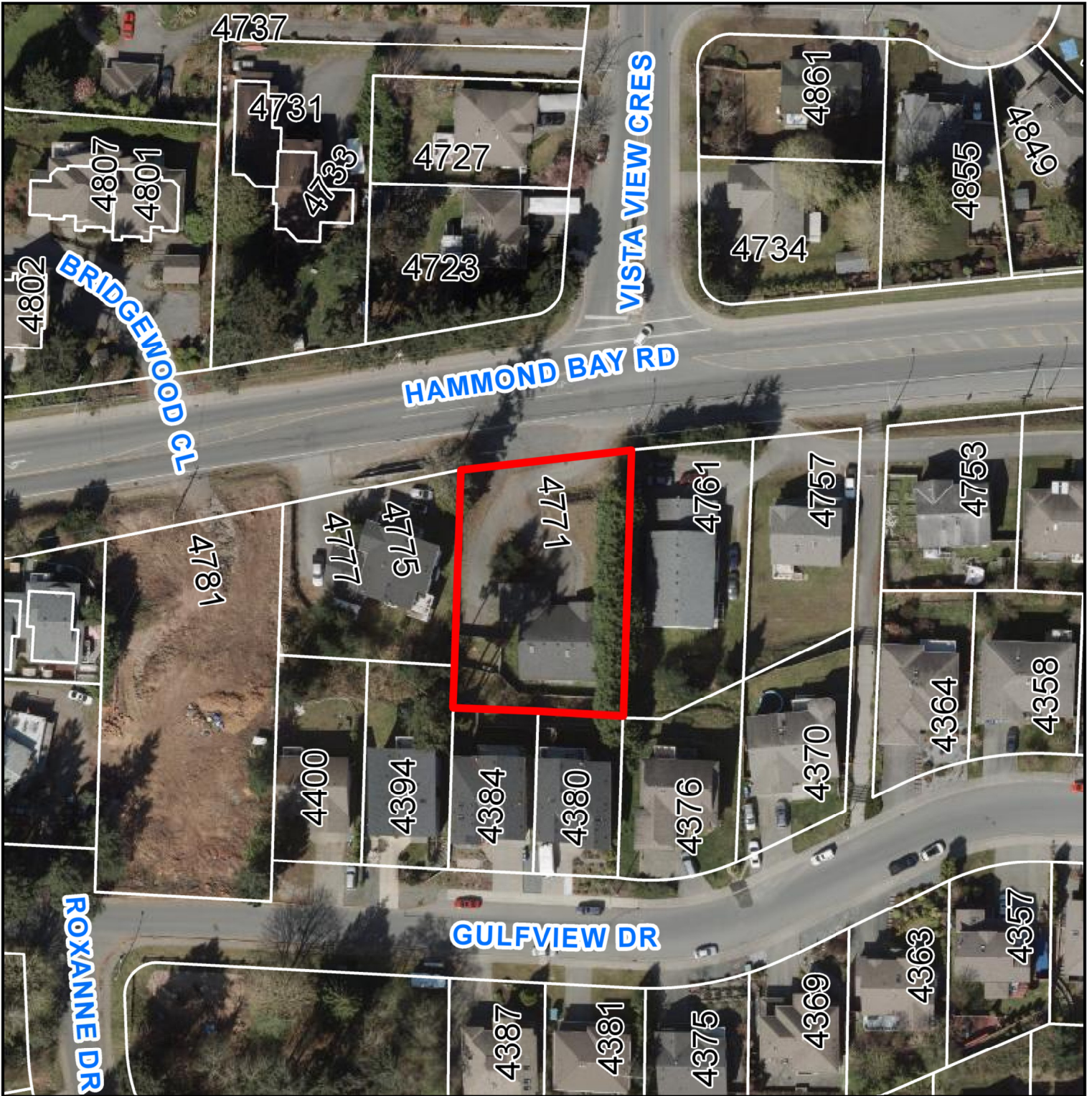
Category 4: Building Materials (8 points required)

Amenity		Points
A	Wood is the primary building material. <i>The development will use wood as the primary building material.</i>	1
C	At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC), the Sustainable Forestry Initiative (SFI), the Canadian Standards Association – Sustainable Forest Management Standard (CSA-SFM), or recognized equivalent. <i>At least 50% of wood materials used in this project will meet one of the appropriate certifications.</i>	3
E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled. <i>The construction contractor will be required to prepare and submit a waste management plan in accordance with industry best practices.</i>	2
F	At least 75% of the materials used in construction are renewable resources. <i>The development will use wood as the primary building material.</i>	2
Total		8

Category 6: Water Management (8 points required)

Amenity		Points
A	At least 50% of the property is covered with a permeable surface area which may include a green roof. <i>The development will feature permeable surfaces on at least 50% of the property, including permeable pavers for the driveway.</i>	2
E	A non-potable irrigation system is installed and used for all on-site irrigation. <i>The development will incorporate a rainwater harvesting system connected to drip irrigation.</i>	3
F	A water efficient irrigation system (such as drip) is installed. <i>The development will incorporate a rainwater harvesting system connected to drip irrigation.</i>	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property. <i>The development includes a bioswale to capture stormwater runoff.</i>	2
Total		8

ATTACHMENT I
AERIAL PHOTO



DEVELOPMENT PERMIT APPLICATION NO. DP001229

 4771 HAMMOND BAY ROAD